



MARINERS VILLAGE

ARCHITECTURAL DESIGN AND LANDSCAPING MANUAL

DESIGN MANUAL Version 2023-05-13

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1. GENERAL

1.1. PREAMBLE

The Architectural Design Review Committee (DRC) consists of nominated members of the Homeowners' Association's Exco team and at least one appropriately qualified and experienced Architect or Accredited Draughtsperson. The DRC's main responsibility is to ensure that all building projects contemplated for construction in the Mariners Village Complex (Complex) not only comply with the specifications and guidelines as set out in this Architectural Design and Landscaping Manual (ADLM), but also with the applicable specifications contained in the Complex's other Regulatory Documents – more specifically its Conduct Rules and Regulations as well as its Owners' and Contractors' Building Code of Conduct Agreement. All these and other documents are freely available on the Complex's official website, www.marinersvillage.co.za

1.2. DEFINITIONS

ABREVIATION	DEFINITION
ADLM	This Architectural Design and Landscaping Manual
Applicable Laws	Means all laws, bylaws, ordinances, and regulations of the Republic of South Africa, whether national, provincial and/or local to which the HOA may be subjected to, including but not limited to: National Building Regulations and Building Standards Act 103 of 1977 (as amended); LUPO; CSOAS; STSMA; WCLUPA
Architectural Design and Landscaping Manual (ADLM)	This document, as may be amended from time to time in terms of the Complex's Constitution
Common Areas	All those portions of the Complex held and maintained by the HOA for the benefit of its members, including communal: roads; walkways; open areas; recreation facilities; security systems and perimeter walls; offices; storage areas; etc.
Common Services	All bulk services, including services in respect of the provision of water; sewerage; electricity; storm-water drainage; refuse removal; telecommunications; firefighting; security; and all such other utilities and amenities serving the Common Areas, Units and Residential Erven
Complex	Mariners Village
Complex Manager	The person appointed by the HOA's Exco as Manager, alternatively the HOA's Chairperson or a designated Exco member
Deed of Sale	An agreement of sale and purchase in terms of which any party has Purchased a Unit in a Sectional Title Scheme or a Residential Erf in the Complex
DRC	The appointed Design Review Committee as described in the Preamble above
Exco	The HOA members elected at each Annual General Meeting (AGM) to form the HOA Exco with the authority and obligation to manage the Complex on a day-to-day basis in compliance with the HOA Constitution and all its other Regulatory Documents
Group Housing	Small erven in the complex (stands smaller than 500 m ²)
HOA	Mariners Village Homeowners' Association
Improvements	Any structure of whatever nature constructed or erected or to be constructed or erected on a Property in the Complex
Member	A Member is an Owner of a Property in the Complex
Owner	Registered owner of a Property in the Complex held under a registered Deed of Transfer following a Deed of Sale
Property	Residential Erf and/or a Sectional Title Scheme Unit held by an owner through a Deed of Transfer
Resident or Occupant	Anybody occupying or utilising a Property in the Complex for any reason whatsoever, whether it is the Owner, a member of his family, a tenant, an employee, a visitor, a contractor, a subcontractor of a contractor, and/or a service provider
Rules	ADLM rules and guidelines, including all other applicable rules and regulations prescribing, regulating, and guiding the development of erven in the Complex and applicable to building and construction projects and the way they may be executed
Single Residential	Larger erven in the complex (more than 500 m ²)
Vehicle	Any form of conveyance, whether self-propelled, or drawn by machine, animal, or human agency

1.3. THE ARCHITECTURAL DESIGN REVIEW COMMITTEE OF THE HOA EXCO

The HOA Exco, acting with a suitably qualified professional, forms the Design Review Committee to ensure that all plans submitted for review comply with the ADLM as set out hereunder. It, therefore, is incumbent for any owner to obtain the DRC's approval before commencement of any building activity or making any significant changes to the appearance of buildings, landscaping, and external features.

Purchasers/Owners please note that all plans submitted will be assessed on merit and that all plans/proposed changes to existing buildings must obtain DRC's approval, prior to statutory submission to the Local Authority.

1.4. REGULATORY DOCUMENTS AND FORMS

The following forms must be completed before and during a building project:

- **Form BA: Building Plans Submission Checklist:**

To be completed and submitted together with the required building plans and proof of payment i.r.o fees payable.

- **Form BB: Building Site Information:**

To be completed and handed in with building plans.

- **Form BC: Building Plan Approval or Non-Approval Notification:**

This notification will be issued to an owner by the DRC after reviewing and considering the building plans.

- **Form BD: Building Contractor Registration Application:**

To be completed if no prior approval/registration was obtained and annual registration fees have been paid.

- **Form BE: Owners and Contractors Building Code of Conduct Agreement**

(Read together with the **Building Fines Penalties Chart**): To be completed by the owner and the approved Building Contractor prior to the commencement of any building work.

- **Form BF: Application to Commence Building Project:**

To be completed and submitted to the DRC before any building work may be started.

- **Form BG: Application for Project Completion and Acceptance Certificate:**

To be completed if the owner is of the opinion that the building work is complete, that all rules have been complied with, and an Occupation Certificate from the OM has been received.

All documents and forms referred to above and in the various documents are freely available on the HOA's official website at: www.marinersvillage.co.za

1.5. PLAN SCRUTINY SCHEDULE

- The Mariners Village DRC does not have specifically scheduled dates for scrutiny of building plans.
- A PDF electronic version must be submitted with one set of printed plans to the DRC. The DRC will schedule a sitting within 4 days.
- Plans must be drawn up by a SACAP registered professional.
- No plans will be scrutinised without the required payment of the plan scrutiny fee.
- Form BA must be completed and submitted with plans for scrutiny. Corrections from the DRC will be indicated on Form BA and after compliance has been reached will be approved by the DRC member responsible.
- Once the owner is ready to proceed with the building project, the FORM BE (Owners and Contractors Building Code of Conduct Agreement) must be submitted with the approved plan by OM.

1.6. APPROVAL OF PLANS

- After the plan has been approved by the DRC, 4 sets (appropriately coloured) must be submitted to the HOA. These building plans will be signed and stamped by the DRC. One of the four sets of plans will be retained by the DRC for record purposes and three sets will be handed back to the owner for submission to Overstrand Local Municipality/Authorities for their review and approval before any construction may commence. Once approved by OM a signed copy must be returned to the Estate Manager for safe keeping.
(Note that the Municipality will not accept plans that are not stamped and signed by the DRC)
- Once approved by the DRC and the Local Authorities, no external deviations of any sort are permitted. Any required deviations must again follow the prior review and approval route as prescribed herein.
- The Local Authority will not accept plans without the DRC's/HOA's approved stamp.
- Any application for waivers of the National Building Regulations, or any other statutory regulations, or any stipulation/rule in this manual must first have been approved by the DRC before submission to the Local Authority. The DRC is not under any obligation to approve such deviation.
- If, in the DRC's opinion, the initial application requires extensive redesign, then a resubmission will be considered as a new submission and a new review fee is payable to the HOA.
- Should it happen that the DRC, during the plan review and approval process, for any reason does not pick-up a design error or any breach of these rules/specifications, and the plans are nevertheless approved by the DRC, the mistake must be corrected if, or when, the oversight is later discovered. The onus is, firstly, on the owner and secondly on the architect to ensure that the plans comply with these rules and specifications.

2. FEES

Plan Review/Approval Fees and a Building Project Deposit are payable upfront. These fees are subject to review and adjustment on an annual basis. The fees adjustment date is 1 January of each year. Determining the fee structures and amounts thereof are the sole responsibility of the HOA's Exco. The current fees payable upfront are shown in FORM BI and Appendix 2

Bank Account Details (use the erf number as a deposit reference number):

Account name: Mariners Village HOA

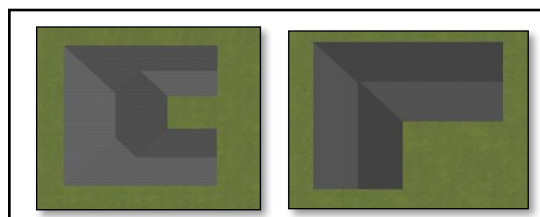
Bank: Nedbank

Account No. 120 427 7095 (cheque/current account)

Send proof of payment to info@marinersvillage.co.za

3. ARCHITECTURAL DESIGN GUIDELINES

All dwellings to be constructed on Single Residential or Group Housing erven must conform to one of the standard design layouts allowed in the complex as illustrated below.



MAJOR BUILDING DESIGN LAYOUTS

3.1.GROUND COVERAGE

	GROUP HOUSING: (STANDS < 500M ²)	SINGLE RESIDENTIAL: (STANDS > 500M ²)
<i>Ground Coverage (max. coverage)</i>	65% max.	50% max.
<i>Minimum Dwelling Size (excl. garages & stoeps/verandas)</i>	100m ²	180m ²

Please Note: All Single Storey Dwelling Homes should ideally have a complete loft space across their primary form. A maximum 3.2-metre-high wall-plate is permitted.

3.2.BUILDING LINES

	GROUP HOUSING: (STANDS < 500M ²)	SINGLE RESIDENTIAL: (STANDS > 500M ²)
Street front building line <i>(not from the street itself)</i>	3.0m	4.0m
Rear building line	1.0m	2.0m
Rear building lines of erven against Still Str. and/or Swartdam Rd.	3.0m	n/a
Rear building line of erven against Church Street	n/a	4.0m
Side/lateral building lines	1.0m	2.0m
Rear building line of erven against SANSA	3.0m	3.0m

Please Note: Where a garage has direct access off a street a minimum 4.0 metre street front building line applies.

The GAP between the boundary wall and the dwelling must be 1 m

GENERIC CONDITIONS:

- a) In the case of a corner site having an average depth of 20.0 metre or less, then the Street Front Building lines are reduced to 3.0 metres (Please note that **Street Front Building Line** is defined as the building line of the erf itself facing the street in the Complex and not measured from the street itself).
- b) All building projects to comply with the Conditions of Approval and Zoning Scheme Regulations of the Overstrand Municipality. In the case of Mariners Village, as indicated above, where erven are bordering on Still Street or Swartdam Road, the rear building line is increased to 3 metres, and to 4 metres i.r.o. erven bordering on Church Street.

Please Note: It is important for owners to know that the HOA is specifically prohibited in its Constitution to allow alterations to an erf's building lines.

3.3. SCALE, PROPORTION & ORIENTATION

3.3.1. GROUP HOUSING ERVEN

- All the Group Housing erven are North/South facing therefore the houses are to be sited in their length from East to West.
- No design shall be placed on an erf with its side elevation on the North/South axis.
- No detached garages from the primary structure will be permitted on any Group Housing erven.
- Dwelling Houses are to be composed of major and minor plan elements (forms) with limited widths and depths as indicated in Figure 01 (Typical Cross Section).
- Major Forms with double-pitched roof are limited to a max. 8.0 metre width.
- Minor Forms, such as 'lean-to' roofs and pergolas, are limited to 2/3 of the major form width.
- Provision must be made for a minimum of one single garage in all designs with enough off-road parking space for a secondary / visitor's vehicle parking.
- The minimum size of a house on a "Group Housing" erf is 100 m² (excl. garages and stoeps/verandas). It is recommended that all houses greater than 130 m² (excl. garages and stoeps/verandas) should allow for not less than two garages.

3.3.2. SINGLE RESIDENTIAL ERVEN

- Houses are to be composed of the major structures and minor elements (e.g., forms, such as lean-to roofs and pergolas).
- Major structures/forms with double-pitched roofs do not have a limit to its maximum width. However, its width will be restricted by the roof's designed pitch and the maximum allowed building height (8 metres).
- Minor Forms, such as 'lean-to' roofs and pergolas, are limited to 2/3 of the Major Form's width.
- No detached garages from the primary structure will be permitted on any Single Residential erven.
- Provision must be made for a minimum of one single garage in all designs, but a double garage is preferred for all Single Residential houses. Enough off-road parking space must be provided for at least one additional owner's vehicle or for the parking of a visitor's vehicle.

	GROUP HOUSING: (STANDS < 500M ²)	SINGLE RESIDENTIAL: (STANDS > 500M ²)
GARAGES	<ul style="list-style-type: none"> No detached garages from primary structure will be permitted on any Group Housing erven. Provision must be made for a minimum of one single garage in all designs with enough off-road parking space for a secondary / visitor's vehicle parking 	<ul style="list-style-type: none"> No detached garages from primary structure will be permitted on any Single Residential erven. Provision must be made for a minimum of one single garage in all designs, but a double garage is preferred for all Single Residential houses. Enough off-road parking space must be provided for at least one additional owner's vehicle or for the parking of a visitor's vehicle.
MAJOR & MINOR FORMS	<ul style="list-style-type: none"> Dwelling Houses are to be composed of major and minor plan elements (forms) with limited widths and depths as indicated in Figure 01 (Typical Cross Section) below. Major Forms with double-pitched roofs are limited to max. 8.0m width. Minor Forms, such as 'lean-to' roofs and pergolas, are limited to 2/3 of the major form's width. 	<ul style="list-style-type: none"> Dwelling Houses are to be composed of major structures and minor elements (e.g., forms, such as lean-to roofs and pergolas). Major structures/forms with double-pitched roofs do not have a limit to their maximum width. However, their width will be restricted by the roof's designed pitch and the maximum allowed building height of 8.0m. Minor Forms, such as 'lean-to' roofs and pergolas, are limited to 2/3 of the Major building form's width
DESIGN	<ul style="list-style-type: none"> All the Group Housing erven are North/South facing therefore the houses are to be sited in their length from East to West. No design shall be placed on the erf with its side elevation on the North/South axis; 	

Despite anything shown in Figure 01 below, or as contained anywhere else in this document pertaining to dwelling rooms and their dimensions/heights, the SANS' prescripts as contained in Table 2 (SANS), shall prevail:

SANS 10400-C:2010 (Edition 3) Section 4.3

Sub-section 4.3.2: Table 2 – Rooms and their dimensions

1. ROOM OR SPACE	2. MINIMUM HEIGHT
Bedroom	2.4m above a floor area of at least 6m ² with a clear height of at least 1.8m at any point more than 0.75m from the edge of the floor space
Any other habitable room in a dwelling house or a dwelling unit	2.4m above a minimum of 70% of the floor area, and not less than 2.1m above the remaining floor area
All habitable rooms other than those listed above	2.4m
Passages or entrance hall	2.1m
Bathroom, shower-room, laundry, or room containing a toilet pan	2.1m above any area where a person would normally be in a standing position
Open mezzanine floor which has an area not exceeding 25% of the area of the floor immediately below it	2.1m above and below the mezzanine floor

The “Minimum Height”, as shown in column 2 of Table 2, must be understood to refer to the vertical dimensions from the top of the finished floor in a room to:

- underside of the ceiling
- underside of the roof covering where there is no ceiling, or
- underside of any structural members where such structural members project below such a ceiling or roof covering and the plan area of such projections exceeds 30% of the plan area of the room.

Notwithstanding the requirements contained in Table 2, where any structural member projects below the level of the ceiling, or where there is no ceiling below the level of the roof covering, the height of such projection shall be not less than 2.1 metres.

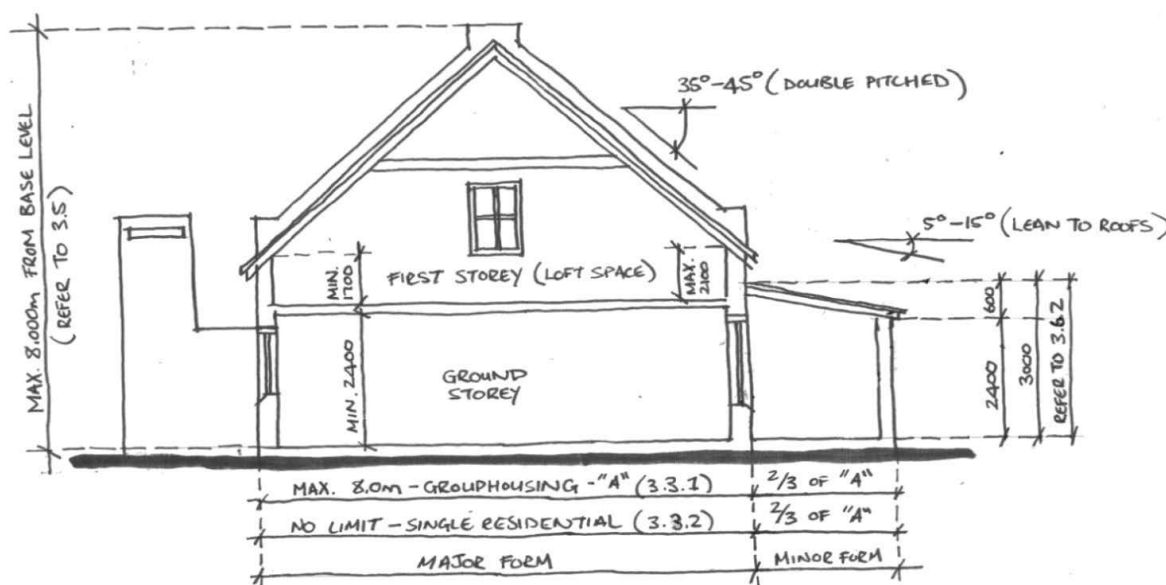


FIGURE 01: TYPICAL CROSS SECTION

3.4. HEIGHT RESTRICTIONS

The roof apex shall not exceed 8.0m above natural ground level (NGL) of the footprint of the main structure for both Group Housing and Single Residential Dwellings. The use of roof space for a 2nd storey is encouraged, with the side walls of the attic rooms not exceeding 2.1m above First Floor Slab. All building projects must comply with the conditions of Approval and Zoning Scheme Regulations of the Overstrand Municipality.

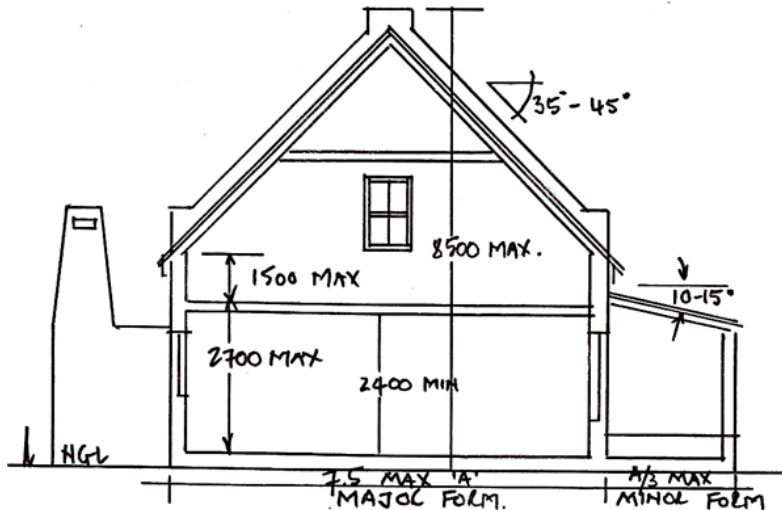


FIGURE 02: BUILDING HEIGHT & ROOF PITCH

3.5. ROOFS

Structure forming the upper covering of a building or vehicle.

3.5.1. ROOF TO MAIN STRUCTURE

- Only double pitched roofs between 35° - 45° and symmetrical about their ridges are permitted (FIGURE 02).

3.5.2. LEAN-TO VERANDA ROOFS (MINOR STRUCTURES/FORMS)

- Abutting vertical walls of main structure, at a straight mono-pitch from 5° - 15°, to achieve a min. height of 2.4m at the edge of the veranda from screed to top of roof sheets to a max. of 3.0m are permitted.

3.5.3. GARAGE ROOFS

- Garage roofs may form part of the main structure's roof, extending also under lean-to veranda roofs. Garages may also have mono-pitched roofs from 5° - 15° and be contained within parapet walls. The gutter should not be visible from the street.

-

3.5.4. MATERIAL & COLOUR

- Roof sheets to be (i) Colourbond pre-painted corrugated sheeting (the ZINCALUME® core is a baked-on corrosion inhibitor sealed with the ZINCALUME tough painted finish) in

CHARCOAL GREY (ii) Zinalume or Chromadek pre-painted corrugated sheeting in CHARCOAL GREY, ARMOUR GREY (LIGHT GREY), or similar as approved by the DRC. Green roofs were permitted previously. If an existing green roof needs painting it must be executed in the prescribed colours.

- Clear Polycarbonate sheeting may be used over a portion of veranda roofs but may not project more than 1.0m from the major wall if visible from the street. When used at the rear of the property, coverage may be linked to veranda depth.

3.6. DORMERS / ROOF WINDOWS

A dormer is a roofed structure, often containing a window, that projects vertically beyond the plane of a pitched roof

There must be at least one dormer incorporated in the house design on the street elevation except for single storey houses as described below:

- Dormer windows are not required to be incorporated in roofs of single storey buildings but are permitted to maintain the visual aesthetic properties of the overall development. Buildings less than 130 m² (excluding garages) should incorporate gables with parapets. Larger buildings (> 130 m²) must have either front facing gables or gables on other sides which must then have parapets. The building must have character, e.g., a veranda/entrance feature.
- All dormers are to be set into the plane of the roof, and to be a max. size of 780mm x 1400mm, installed in a vertical proportion. All dormers are to be equidistant from each other in the roof plane.
- Only one prescribed dormer type will be permitted, comprising a vertical proportioned window. The construction of the dormer has the position of the window on the outside main structure wall.
- If there is only one dormer on a side it will be centred over major openings on ground level to create a balance, and this principle of balance will apply to all dormer windows. If there are two or more then they should be equally balanced.
- Dormer window colour and finishes are to match the windows of the dwelling. Dormers to be consistent with roof and walls below.
- Group housing precinct dwellings are permitted to have “integrated” dormers to the roof space facilitated by the higher wall plate as per FIGURE 03.

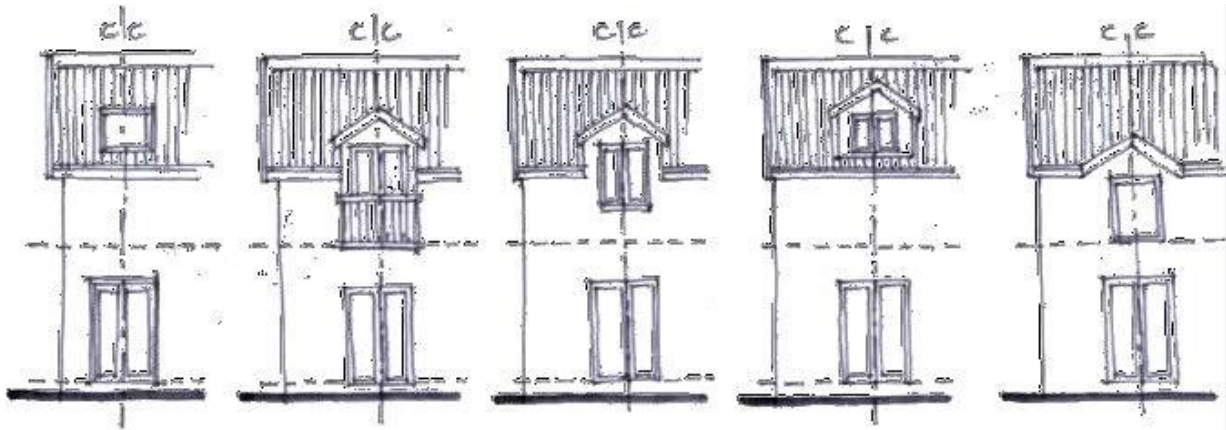


FIGURE 03: DORMERS / ROOF WINDOWS

3.7. CHIMNEYS

A vertical channel or pipe which conducts smoke and combustion gases up from a fire or furnace and typically through the roof of a building.

- All chimneys must be of a simple traditional design and proportionately sized to the major / minor building form. (FIGURE 04 A)
- Chimney tops either to be closed as depicted in FIGURE 04 A & B or alternatively have cowl installed, made of mild steel (black) or stainless steel.
- No chimney may project more than 0.6 m above the roof's apex but must remain within the maximum height restriction of the dwelling.
- All chimneys must be plastered masonry and painted to match the rest of the building's colour.
- The height of a chimney outlet shall be not less than (see FIGURE 04 C)
 - 1 m above the highest point of contact between such chimney and the roof, provided that where a roof has an angle of slope on both sides of a ridge of not less than 10° from the horizontal and the centre line of the flue of the chimney is not more than 600 mm from the ridge, the height of such chimney outlet shall be not less than 600 mm above such ridge.
 - 1 m above the highest point of a window or roof light capable of being opened or a ventilation inlet situated in a roof or external wall where the horizontal distance from the nearest point of such window, roof light or opening to a vertical line through the centre of such chimney outlet is less than 2,3 m; and
 - 1 m above the eaves level in the case of a chimney which does not pass through the roof of a building but is within 1,5 m of the nearest wall of such building, provided that at a gable end of such building, such chimney shall extend not less than 600 mm above the highest point of such gable end.

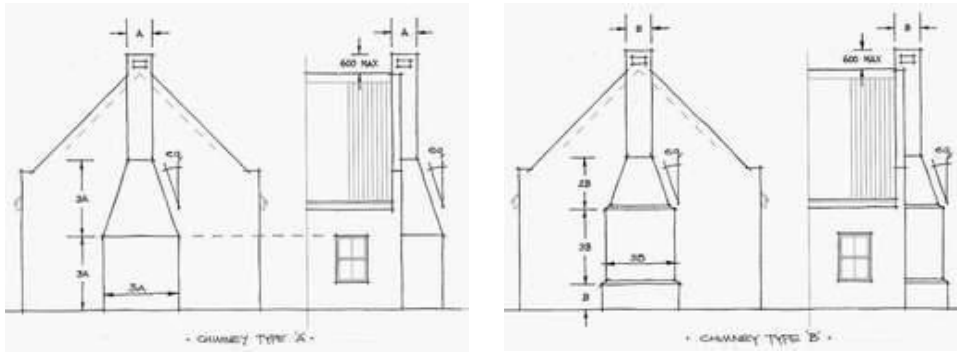


FIGURE 04 A: CHIMNEYS

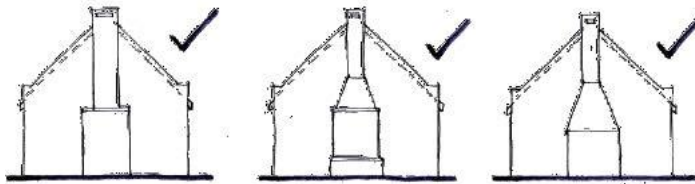
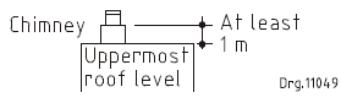
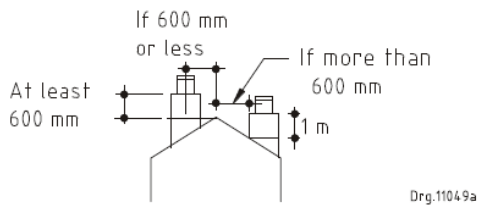


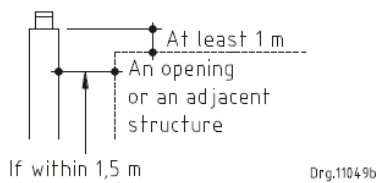
FIGURE 04 B: CHIMNEYS



a) Roof pitch less than 10°



b) Roof pitch 10° or more



c) Opening or adjacent structure

FIGURE 04C: CHIMNEYS

3.8. VERANDAS, PORCHES, PERGOLAS and PATIO's

Veranda: Usually roofed open gallery or portico attached to exterior of a building

Porches: Covered area adjoining an entrance to a building and usually having a separate roof

Pergolas: Structure usually consisting of parallel colonnades supporting an open roof of girders and cross rafters

Patio : A Patio is a ground level paved outdoor space often open without a roof

- All verandas will be covered or have a pergola and have a max. depth of 3.5m. Also, the veranda should ideally run the full length of the building if possible or appropriate. If the veranda is erected over the front door, then these are to be complimentary to the elevation.
- Supports shall be plastered masonry pillars, pre-cast concrete columns (of simple square or rectangular design), timber, or metal square posts, painted white or to match house colour. No Victorian cast iron posts or “Broekie Lace” or Wall art are permitted
 - Wall art is any decorative piece designed to be displayed on walls and create focal points.
 - Decorative, artistic pieces specifically designed, treated, or selected to be displayed on vertical exterior surfaces like walls, garden fences, or building facades.
-
- Simple caps, bases and brackets will be allowed.
- Pergolas to be constructed of timber and painted white or to match the house colour.
- A Pergola in front of the garage within the building line and without shade cloth or roof structures will be permitted (May 2026)
- Floors can be smooth screed (traditionally coloured), clay brick pavers or quarry tiles or tiles – Has to be approved by DRC if visible form the street
- The veranda can have walls at each end, with or without a built-in bench and / or small windows to match dwelling.
- A braai may be built into one end of the veranda at the back of the property, not facing the road and not visible from the road. . Free standing braais , when not used , must be removed from view.
- No PVC or Aluminium adjustable coverings are permitted.

- No awnings or outside roller blinds are permitted unless it is at the rear of the property (May 2025)
- Must be neutral and at back and must blend in . Only ZIPTRACK blinds permitted. (May 2026)
- Minor works plan needed for any changes to Veranda's (May 2026)
- No trellis or wooden structures or canvas can be used to close veranda's (May 2026)
- Veranda's cannot be used as carports. No carports allowed

3.9. WALLS

3.9.1. WALL CONSTRUCTION

- All external walls to be a min. of 280mm cavity wall construction (no steel form structures are allowed).

3.9.2. WALL FINISH

- All walls to be smooth plastered externally and painted same colour as the house. No bagging allowed (May 2026)No face-brick finish will be permitted.
- A simple 100-120mm high plaster band (moulding) above plinth or around window and door openings is compulsory
- The band should be painted white or a lighter shade of the house colour. **Darker bands are not permitted.**
- No quoining or rustication will be permitted.
- Shiplap wall cladding (using Nutec Vermont Cladding) will be permitted, where the treatment of such a wall is less than 10% of the outside wall surface area and does not comprise most of the built structure. The use of this treatment type will only be permitted in small elements to add character.
- Wall paint colour: refer to APPENDIX 2 PRE-APPROVED PAINT COLOURS.

3.10. GABLES, EAVES, PARAPETS

A barrier that is an upward extension of a wall at the edge of a roof, terrace, balcony, walkway, or other structure.

3.10.1. GABLES

- Only simple, straight line end gables to a building's major forms (with parapeted tops or close-cropped eaves) will be allowed. See FIGURE 05

3.10.2. EAVES

- Close cropped eaves are preferred, but a maximum of 150 mm roof overhangs will be permitted (Including gable end walls).

3.10.3. PARAPETS

- Parapets to be no less than 230 mm above finished roof level.

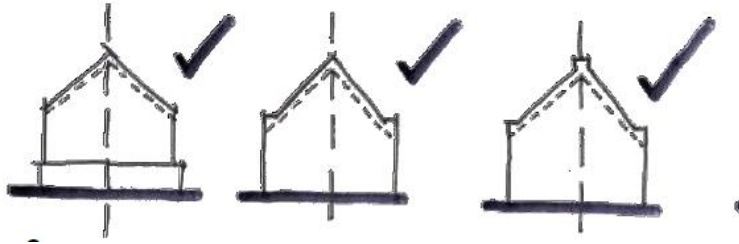


FIGURE 05: GABLES

3.11. GUTTERS AND DOWNPIPES

- All roofs double pitched, and lean-to roofs are to have gutters installed.
- Gutters shall be pre-coated Ogee Aluminium profile, with minimum 75 x 60 mm rectangular fluted downpipes
- UPVC gutters and downpipes to be the colour of the window frames, alternatively the downpipes to be painted to match colour of the building.
- The building's gutters to be consistent
- The gutters and the downpipes must match in colour and material

3.12. FASCIA

- Nutec fibre cement fascias to be primed with alkali resistant plaster primer and painted either white or to match the colour of the building.

3.13. WINDOWS

3.13.1. WINDOW TYPES

- Windows on the building must have the same proportional ratio and must be vertically proportioned.
- Paired windows to have piers between each other with min. of 280mm.
- Windows must be casement, top hung or vertically sliding sash. Cottage pane type windows will not be allowed.
- No bay windows will be allowed.
- No external burglar bars will be allowed.
- No "Windblok" type concrete window frames are permitted.

3.13.2. WINDOW FINISHES

- Window frames must be made of either :
 - Timber – natural or painted white or grey.
 - Coated Aluminium -painted white, grey or Charcoal.
 - PVC - white , grey or Charcoal.
- Reflective film or reflective glazing is not allowed. If UV or laminated glazing is used, it must be specified on the drawings.
- An Oblong window is only permitted in a garage but not street facing . Glass standards to be as per National Building Regulations (SANS) and AAAMSA codes.
- No “mirror” glass is permitted.
- All glazing to comply with SANS 10400-XA and SANS 204.
- Maintenance on existing dwelling / re-painting of existing dwelling to comply with latter.



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FIGURE 06: TYPICAL WINDOW TYPES

3.13.3. WINDOW BURGLAR BARS

- Internal burglar bars for windows are allowed, but must be the transparent type (e.g., polycarbonate burglar bars)
- External burglar bars in front of windows are not allowed.

3.13.4. WINDOW SHUTTERS

- Decorative and functional shutters will be permitted, provided they comply with the following requirements:
 - Where shutters are to be used as shading devices (as per SANS 10400-XA and SANS 204), they should be clearly indicated on drawings.
 - Shutter material allowed: Timber louvers, or timber solid, or alternatively they may be powder coated aluminium shutters.
 - No street facing outside shutters
 - Shutters may be traditional opening or modern sliding.
 - Shutters should either match windows and/or doors in colour or be clear varnished.
 - Timber, sliding tracks to match the colour of the shutters.
 -

3.14. DOORS

3.14.1. DOOR TYPES

- Door openings to have vertical or square proportions.
- Traditional French double doors from 1350mm – 1500mm are recommended
- Large sliding doors or coupled French door openings (1.2m and greater) are to be behind verandas or pergolas for shading.
- Large sliding doors cannot be used for Main Front entrance (May 2026)
- No “Trellidor” or other expanding metal security gates are permitted externally.

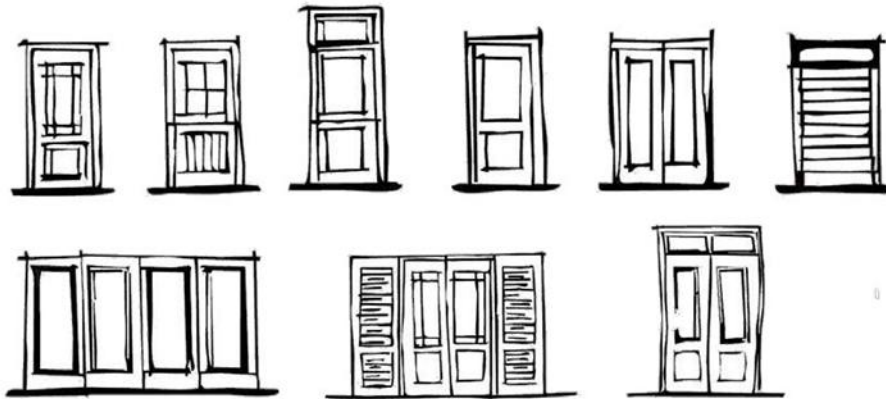


FIGURE 07: TYPICAL DOOR TYPES

3.14.2. DOOR FINISHES

- Doors to be made of either:
 - Timber and be painted (White or the same colour as the house – May 2026)
 - Epoxy powder coated aluminium.

- Colour of aluminium doorframes to be the same as the aluminium window frames. (May 2026)

3.14.3. SECURITY GATES

- Internal security doors are permitted, but they must be of the expandable type (e.g., “Trellidor” type or similar). The colour of such expandable security doors should ideally match that of the window/door frames of the house.

3.15. GARAGE DOORS

3.15.1. GARAGE DOOR REQUIREMENTS

- A maximum of 2 x single garage doors or 1 x double garage doors facing the street will be permitted.
- In the case of 2 x single garage doors, they shall be separated by masonry piers.
- Single garage to have minimum of 2,440 mm wide opening and a double garage a minimum of 4,880 mm.
- No ornate panelled garage doors are permitted (only horizontal or vertical profiles are allowed). Garage door type/style to be clearly indicated on building plans.
- Garage door colours to match windows and doors of dwelling.
- If the colour of garage doors is not the same as all the other doors and windows of the house, they must either be white or coloured to match the house’s roof colour.

3.15.2. GARAGE DOOR TYPE & FINISH

- Epoxy powder coated aluminium

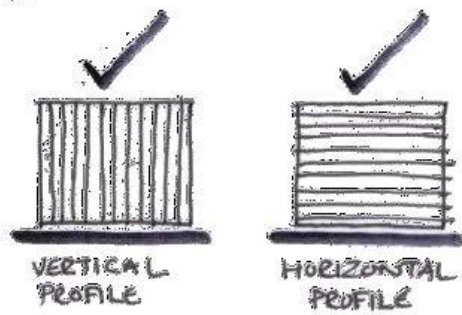


FIGURE 08: TYPICAL GARAGE DOORS

3.16. BALCONIES

A platform that projects from the wall of a building and is enclosed by a parapet or railing.

- Balconies may be open or roofed with a veranda roof from 5° - 15° pitch or a pergola. No overhangs are allowed.
- It is recommended that balcony support should be of masonry construction to ground floor, and of more slender proportioned material to first floor - timber or painted steel posts.
- Proportions between balcony supports to be vertical and evenly spaced.
- Balustrading to be either glass or where no glass then simple traditional lines and shall be painted, varnished, or manufactured from stainless steel (section Balustrades and Handrails)
- Balconies on Group Housing sites will only be permitted on front and rear walls of house and must have screen walls at each end.
- Minor works plan needs to be submitted before any changes are made to existing balconies (May 2026)

3.17. BALUSTRADES & HANDRAILS

- Must be simple in design and form and have traditional (vertical) design.
- Balustrades to either be of glass or
 - PVC – White
 - Powder coated aluminium - White or to match doors and windows.
 - Galvanized steel - Painted white or to match doors and windows.
 - Glass (aluminium framed or frameless)
 - Stainless steel

Solid masonry construction

- Any verandas/porches that are higher than 750 mm from natural ground level must be provided with a balustrade and handrail.

3.18. BOUNDARY WALLS, YARD WALLS & FENCES

- All yards to be walled with max. height of 2.1m wall measured from natural ground level. No street front boundary walls or picket fences (wood or PVC) will be permitted (May 2026). The previous 500 mm walls can remain if it was build before May 2026.
-
- All erven must be walled with masonry boundary walls (between 1.5 and 2.1 metres high, measured from the natural ground level) on their sides and back where such erven are adjacent to other erven in the Complex. Side boundary walls must extend from the front building line backwards.
- No boundary wall required from the front building line forward to the erf's front border (May 2026)
- Walls to be plastered with rounded top painted the same colour as the walls of the house. Construction to be consistent with main structure. (Nov 2018
- All owners of erven bordering the Estate boundary wall (Still street and Church street) will be responsible for maintaining and painting of the walls on the inside of their properties . Colours must match the approved colour of the existing property. Any deviation on the colours needs to be corrected.
- The maximum height of a border wall between 2 properties shall not be more than 2.1 m on either side of the wall.
- Side and back boundary walls must be finished off on their insides (sides facing the inside of the erf) to match the main dwelling (e.g., plaster and paint colour).
- Properties facing the green areas (open spaces, e.g., all common areas) must preferably not have boundary walls on that side, keeping it "open". However, if the owner desires a wall on that side of the stand (e.g., to keep pets in their yard), application to erect a finished off (plaster/bagged and painted) masonry boundary wall must be submitted to the DRC for review and approval.
- Courtyards must be built for the screening of fixed washing lines, approved water tanks, waste bins, etc. Such walls must be at least 1.8 m and not more than 2.1 m high as measured from natural ground level, on either side. Courtyards visible from the street must have installed gates. Please note that washing lines may not be visible from street or public open spaces.
- No Courtyards in front of the property (May 2026)
- For Courtyards Read with Section 3.27
- No vibracrete panel type walls, picket fencing, mesh wiring structures, wood structures or face-brick walls are permitted as boundary walls (e.g., between residential erven) or on top of boundary walls. (May 2025) Exceptions will only be considered by Exco where there is a clear and substantiated safety or security requirement. (May 2026)
- No face brick walls are allowed.

- Any changes or additions to boundary walls needs a minor works plan to be submitted with Engineering specifications to the local authorities (May 2026)
- As from May 2026 no picket fences are allowed

3.19. GATES

- Garden and pedestrian gates should be placed in plastered masonry walls and to be of the following materials:
 - Galvanized steel frame, with timber / 'nutec' board cladding. (Natural, white, or painted to match colour of main dwelling).
 - White PVC in frames, no picket (May 2026) – See picture. Solid or with vertical slats with no more than 50 mm spaces between slats
 - No cheap timber gates allowed (May 2026) – See picture



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- Design to be simple vertical rails without ornate spear or other pointing at top.
- Gates not to exceed height of wall. All gates must be the same level as the boundary walls



3.20. SPACEHEATING

3.20.1. BRAAIS

- Braais can be built into one end of the veranda with a chimney consistent to the main dwelling.
- Free standing braais in the garden are not permitted.
- Fireplaces may be either wood burning or gas.
- Traditional open braais will be preferred rather than steel braais.
- Braai pits, lower than 600 mm from natural ground level will be permitted behind boundary or yard walls of no lower than 1800 mm measured from natural ground level.
- Pizza ovens may be constructed internally. When constructed externally it shall be underneath a covered patio and form part of the overall design (free standing pizza units in front of the house will not be permitted).
- EXCO has the right to address the residents if the area becomes messy/tacky

3.20.2. FIREPLACES

- Any system of space heating in any building shall be so designed, constructed, and installed as to operate safely and any flue, flue pipe or chimney used in such system shall be so designed as to safely remove any smoke or noxious gases produced by such system.
- The requirements of sub regulation **(1)** shall be deemed to be satisfied where the design and construction of any flue pipe, chimney, hearth, or fireplace complies with SANS 10400-V.

3.21. CARPORTS

- No carports or shade cloths will be allowed anywhere on the erf or over cars. A Pergola in front of the garage within the building line and without shade cloth or roof structures will be permitted (May 2026)

3.22. DRIVEWAYS & PAVING

- The following materials/finishes are permitted:
 - Brick paving (to be specified on drawings) with the following colours:
 - Charcoal
 - Sandstone
 - Wheatstone
 - Autumn
 - Cobbles - Charcoal (to be specified on drawings)
- The following will not be permitted:
 - Concrete paving with exposed pebbles.
 - Slasto, concrete slabs, crazy paving, chip and spray, interlocking pavers, and railway sleepers.
 - Premix with brick edge.
 - Unpaved driveways or gravel stone only.
 - No mixed paving allowed (May 2026)
- Permitted width for driveways is as follows:
 - Single garage: 4.0 m
 - Double garage: 7.0 m
- A building project shall not be deemed and accepted as complete unless all the necessary paving work (e.g., the driveway and paving to the front door, etc.) have been completed.
- Ownership of a specific portion of land, is the portion of a plot marked out by a land surveyor, the rest belongs to Mariners Village HOA. It is not necessarily 1m, it could be much more or even less.

3.23. SWIMMING POOLS & SPAS

- Swimming pools may be erected over the prescribed building lines if they do not extend beyond the boundaries of the land unit and are lower than 1 m below existing ground level.
- Swimming pools to have a minimum set-back of 1.0 m from erf boundary.
- The owner of any site which contains a swimming pool shall ensure that access to such swimming pool is controlled and comply with the safety regulations SANS 10400-D. Any owner who fails to comply with the requirement shall be guilty of an offence.
- The placement of a swimming pool (including ponds and water features) must be carefully planned and must be incorporated within the overall design of the dwelling.

- No person shall, without the written permission of the local authority, discharge or cause the discharge of any water from a swimming pool, fountain, or reservoir, either directly or indirectly, onto any public street or public place, or onto any site other than onto the site upon which such swimming pool, fountain or reservoir is situated.
- A swimming bath, swimming pool, fountain or reservoir shall be so designed and constructed that the water from the backwashing of any filter is discharged onto the site upon which such bath, pool, fountain, or reservoir is situated or, with approval, into a drain.
- Pool decks in natural timber will be allowed but may not be higher than 1.0 m above the natural ground level.

Pool filtration system and pump must be screened, soundproof and not visible from street or public open spaces.

- Pool areas to comply with National Building Regulations Safety Requirements.
- Solar heating panels, for the pool will be allowed if installed flush with the roof and are unobstructive (Refer to Section 3.25).
- Swimming pools must not be visible from the Complex roads and must be behind gated safety fencing as required by national and local laws and regulations.
- A Minor Works plan needs to be submitted to local authorities for approval if added to an existing house. (As stipulated by Overstand Municipality)
- No work can proceed until such time that the local authorities has approved the swimming pool

3.24. SIGNAGE, STREETSCAPES AND SERVICES

- House names and street numbers to be approximately 300 x 200 mm This is also the maximum size. All houses must have street numbers displayed on them where the same are clearly visible from the road.
- House numbers must be black as from 31 January 2024.
- Sewer and vent pipes to be concealed in vertical ducting within the wall plane of the building.
- Air-conditioning condenser units to be at ground level and screened behind boundary walls. Window mounted units are not permitted.
- Wendy Houses / Garden Stores / Water tanks or similar structures will not be allowed without prior application and approval. Provision for a garden store to be made within the overall design. Application must be made in writing to the HOA (DRC) if any of such structures are required. Please note that no such structures will be approved if they are visible from the road or neighbouring sites.

- Fixed washing-lines, refuse bins are to be screened within yard walls.

3.25. ENVIRONMENTAL SUSTAINABILITY

3.25.1 SOLAR HEATING

- If solar heating panels are used, they must be placed flat against the North facing roof slope. Solar heaters may not have external tanks (geysers)
- Solar panels to be clearly indicated on plans (if applicable).
- If solar heating is used for pools, the heating panels are to be placed only on garage roofs where the piping is hidden from view behind parapet walls.

3.25.2 PHOTOVOLTAIC (PV) ELECTRICITY

- Panels for electricity generation (PV) may only be installed following application and approval from the Overstrand Municipality (APPLICATION FOR INSTALLATION OF A SOLAR POWER SYSTEM and the APPLICATION FOR INSTALLATION OF SMALL-SCALE EMBEDDED ELECTRICITY GENERATION)
- A building plan application is not necessary for a configuration of 6-8 standard size (approximately 165cm by 99cm) PV panels, that is inverter/battery supported.
- Should the integrity of the structural stability of the roof structure be influenced by the number of panels (more than 6 or 8 PV panels), a Minor Works application, where a structural engineer states on his/her letterhead that the existing roof structure can carry any additional load in terms of SANS 10400, Part A1(3), will be required.
- Only Monocrystalline solar panels may be used.
- The newest NRS 097-2-1 and SANS 10142 need to be followed.
- On completion of an installation, a 3rd party inspection is required and a valid Solar COC obtained. A copy of the COC should be given to the estate manager.

3.25.3 INVERTERS

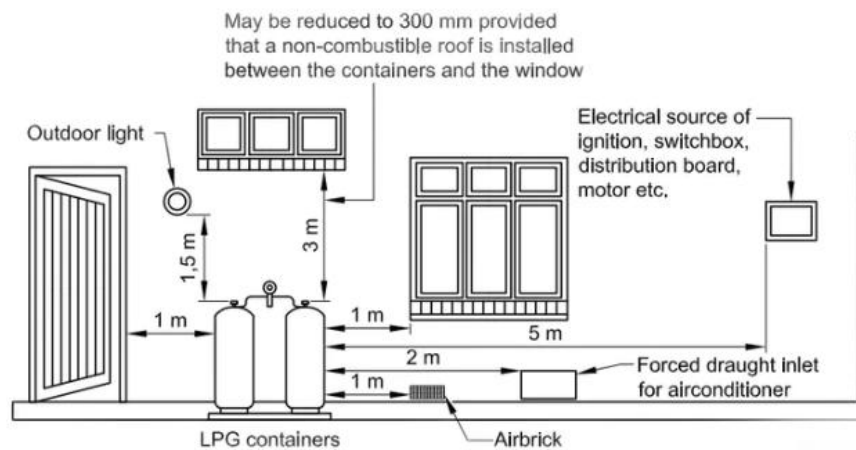
- Only NRS approved inverters may be installed. A list can be found on the Overstrand Municipality website.
- When installing an inverter and a battery system without solar panels it is treated as a generator and therefore needs a Certificate of Compliance (COC).

3.25.4 GAS

ALWAYS EMPLOY A REGISTERED GAS INSTALLER TO DO THE JOB

a) Gas Bottles

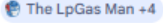
- Domestic installations do not require that the cylinders be placed in a cage but shall be secured in such a manner so as not to accidentally fall over.
- Each gas installation/upgrade must be completed in accordance with the regulations of both the South African National Standard (SANS: 10087) and with the Liquefied Petroleum Gas Safety Association of South Africa (LPGSA) and SAQCC Gas.
- Gas bottles may not be installed:
 - Less than 1m sideways from doors and windows.
 - Less than 2m from drains and air vents.
 - Less than 3m below windows unless a non-combustible roof has been installed.
 - Less than 1m from a property boundary wall.
 - Less than 5m sideways from an electric or plug switch.
 - Light bulbs cannot be less than 1.5m above a gas bottle.



b) Gas Geyser

- Only approved gas piping may be used.
- Any copper pipes used must be sleeved if going through a wall.
- Approved flexible gas hose may not be more than 2m long and may not pass through partition including wood, a dry wall, or a cupboard wall.

Key SANS 10087 Regulations & Guidelines

- **Certified Installer Mandatory:** All fixed gas installations (including geysers) must be installed by a registered LP Gas installer who is required to issue a Certificate of Conformity (CoC).
- **Cylinder Placement:**
 - Minimum 1m away from doors, windows, and drains.
 - Minimum 5m away from electrical sources (switches, pool pumps, etc.).
 - Maximum 2 x 9kg cylinders allowed inside a building (in a well-ventilated area).
- **Gas Pipes:** Copper pipes must be greater than class 1 (or 0.7mm wall thickness).
- **Ventilation:** Gas geysers must be installed in compliance with ventilation requirements, typically with the exhaust/flue sealed to the outside.
- **Safety Inspections:** All LPG installations require a mandatory inspection every 5 years. 

3.25.5 RAINWATER HARVESTING

- All rainwater storage tanks are not to be visible from street.
- Rain water tanks must be **BEIGE, Grey, or Tan**, matching as far as possible the colour of the house.
- Water storage tanks may be erected over the prescribed building lines, provided that they do not extend beyond the boundaries of the land unit and does not exceed 2,1m in height and is screened behind boundary wall/screen to the same height.

3.26. LANDSCAPING

- A hard landscaping plan (e.g., showing paved areas) to be submitted to DRC with the building plans for consideration / approval.
- Residents are expected to maintain a high standard of garden frontage. Lawns must be kept short, and edges trimmed. Paved areas must be kept free of weeds.
- Gardens must be kept clean and rubble free throughout the building process.
- Owners shall ensure that declared noxious flora are not planted or growing on their property. Residents must ensure that they adhere to the Indigenous Plants and Protection Act, Act 185 of 2000 as amended from time-to-time.
- The Owners of vacant erven must keep them clean. Veld grass and other growth must be kept short (to less than 400 mm) to prevent fires as well as for security reasons.
- On site disestablishment by the building contractor, the site must be clean and the front garden ready for landscaping by the Owner or his Landscaper.
- Gravel stones alone is not acceptable as “landscaping” for the front of the house.

- In other words, at least 50% of surface area should be covered with plants (shrubs, trees, groundcover, etc.). It should form part of the garden layout together with the use of gravel stones. The same applies to the use of paving and/or grass where it is used as for landscaping of the property's garden.
- The Owner must ensure that his front garden is properly landscaped and established in compliance with the Complex rules and regulations within two (2) months after completion of the house.
- Gardens must be designed and established to form part of the general theme and pleasant streetscape within the Complex. Owners are encouraged to establish waterwise gardens where indigenous "fynbos" is used as the main theme.
- No decorative miniature picket fences
- No decorative items/ pot plants on the 1 m pavement line (Common Property) –(May 2026)
- The 1 m pavement section can be paved in new houses. No concrete slabs (May 2026)

3.27. UTILITY AREAS

- Service courtyards are to be incorporated into the overall design and may not be visible from street or public open spaces.
- Washing lines may not to be visible from the street or public, open spaces or neighbouring erven.
- Drying yards may not be visible from the street, public open spaces, or neighbouring erven.
- Refuse storage areas may not be visible from the street or public open spaces.
- Court yards to be gated on the sides of the main dwelling.
- No Courtyards in front of the property (May 2026)
- Read with Section 3.18 (Boundary Walls)

3.28. SUNDRY ITEMS

- All service pipes and projections to be incorporated into the overall design and must be fully concealed.
- Satellite dishes and TV aerials are allowed but must as far as possible be inconspicuous and carefully positioned.
- No rusted satellite dishes allowed

- Air conditioning condensers units to be installed at natural ground level and screened so as not to be visible on any elevation.
- No colourful ornaments/benches to be placed on the verges. The Estate is aiming for naturally earthy tones to create an overall cohesive look.
- No furniture such as fridges/appliances /braai's/ portable or inflatable swimming pools/ jacuzzi's/ on front stoeps or front gardens facing the road is permitted.
- Any furnishings and/or decorations which are visible when viewed from the outside of a Unit, or visible to the public, must comply with the general aesthetics of the complex.
- Owners shall not on any part of their properties including patios's stoeps, gardens which in the discretion of the trustees is anaesthetically undesirable when viewed from street front.

3.29. PRE-APPROVED PAINT COLOURS

- Strict adherence to colour uniformity within Complex will be enforced.
- Houses painted in colours other than the approved list below will have to be repainted in the correct colours.
- If the house is sold with the wrong colour it will have to be painted in the approved colour prior to occupation by the new owner. (May 2026)
- Permitted wall colours are provided in APPENDIX 2

4. UNAUTHORIZED WORK

- No unauthorized work or work without approved building plans is permitted. No new buildings, alterations and/or additions to existing buildings, boundary walls, fencing, swimming pools, pergolas or any other structures may be erected without prior written approval from the DRC in compliance with the Complex's Regulatory Documents.
- Should any unauthorized work or work without an approved building plan take place and this becomes known to the HOA or the DRC, a penalty will be imposed against the owner of the property on a calendar basis until the noncompliance has been rectified in accordance with these rules. The penalty for unauthorized works in this regard is the equivalent to one months Admin levy
- No penalty will be imposed if the client/owner has written approval from both the DRC and the Local Authority.

- If a home or building is sold it is the seller's/owner's responsibility to provide the buyer/new owner with a copy of the latest updated and approved building plans as well as an updated Occupation Certificate.
- No consent or clearance certificate will be issued if a home is sold, and the plans are not up to date and approved by the DRC and Local Authority.
- Please note that to obtain approval for any unauthorized work, an owner may not simply submit an as-built plan for approval. The work must comply with the requirements contained in this document. If it does not comply, the works must be corrected to be in line with the minimum requirements as set out herein. Only then will final approval / consent and a clearance certificate be issued.
- **The DRC and HOA encourages all homeowners not to commence with any work, may it be new work or alterations and additions, without approved building plans. If there is any doubt, please contact any member of the DRC and/or HOA prior to commence of any work.**
- Any building, construction and/or paving work on common property is strictly prohibited, unless prior written approval has been obtained from the HOA, which shall only be given in extraordinary circumstance.

5. APPENDIX 1: BUILDING FEES

5.1. PLAN REVIEW / APPROVAL FEES (non-refundable):	
a. Additions/Alterations to an existing house	R 1 750
b. Swimming pool only	R 750
c. New house plans	R 3 500
d. Re-submission of plans due to extensive re-design	R 3500
5.2.	
A. Administration/Systems Usage Fee (non-refundable):	R 2 750
a. This fee is used to recover some of the additional costs incurred by the HOA's administration, security, and other services provided during the building phase.	
B. Building Project Deposit (refundable):	C. R
a. This deposit will be withheld until the Local Municipality has issued the required Homeowners Occupation Certificate and the HOA has been issued with a copy thereof. However, the HOA may utilise this deposit to repair any damage caused to the Complex's infrastructure during construction (e.g., blockage of sewerage system, damage to roads, etc.). Any shortfall in this regard will be recovered from the owner.	20000
b. Building deposit can be withheld until Document BG is signed off by the DRC.	
D. Building Project Deposit for additions <R 200 k (refundable)	R5000
E. Building Project Deposit for additions <R 200 k (refundable)	R 10000
a.	
2.	
3.	
5.3. FINES & PENALTIES	
a. Fines & Penalties (See "Fines & Penalties with regards to Conduct Rules & Regulations document" on https://marinersvillage.co.za/documentation)	Fines & Penalties
b. Building Project Fines and Penalty Chart (See Building Project Fines & Penalties Chart on https://marinersvillage.co.za/documentation)	Building Fines & Penalty Chart

6. APPENDIX 2: PRE-APPROVED PAINT COLOURS

6.1. Main dwelling and walls

These colours are for the main dwelling as well as the boundary walls which must be the same:

- **PLASCON**
 - Off Shore
 - Mandarin Tusk
 - Serious
 - Nomadic Dream
 - Liberia
 - Dried Leaf
 - Delicate white Y2-C2-3
 - Moist Sand - BBO612

- **Dulux Ready Mixed Weather Guard:**
 - Smokey Hint = RP2
 - Groovy Grey = BN15
 - Snowfields = NC14

Any other paint brands must match the above colours. If you chose a different make, please paint a 1m x 1 m sample block on the wall and request approval from the DRC.